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Application No: DA-374/2019

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Statement of Environmental Effects



Adaptive reuse of the Boot
Factory and alterations and
additions to the Mill Hill
Community Centre

17-33 Spring Street and 14-26 Ebley Street, Bondi
Junction

Submitted to and on behalf of Waverley Council

NOVEMBER 2019

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TABLE OF CONTENTS

1. Executive Summary	7
2. Site Analysis	8
2.1. Regional Context	8
2.2. Local Context	8
2.3. Site Address and Legal Description	9
2.4. Site Description	10
2.4.1. Existing Improvements	10
2.4.2. Topography	11
2.4.3. Trees and Ecology	11
2.4.4. Hazards	11
2.4.5. Heritage	11
2.4.6. Soils and Geotechnical Conditions	11
2.4.7. Stormwater	11
2.4.8. Parking, Access and Transport	11
2.4.9. Site photos	12
2.5. Surrounding Development	13
2.5.1. Overview	13
2.5.2. Photos of Surrounding Uses	13
3. Description of Development	15
3.1. Overview	15
3.2. Proposed Site Plan	15
3.3. Demolition	16
3.4. Tree Removal	16
3.5. Construction	16
3.6. Development Statistics	17
3.7. Use	18
3.8. Hours of Operation	18
3.9. Architectural Intent	18
3.10. Materiality and Façade Treatment	18
3.11. Public Art	19
3.12. Landscaping	19
3.13. Signage	20
3.14. Access and Parking	21

3.14.1. Parking.....	21
3.14.2. Pedestrian Access.....	21
3.15. Infrastructure and Utility Works	21
3.15.1. Civil Engineering	21
3.16. Cost of Construction	21
4. Statutory Planning Considerations.....	22
4.1. Overview	22
4.2. Environmental Planning and Assessment Act 1979.....	22
4.2.1. Section 4.15 of EP&A Act 1979	22
4.2.2. Section 4.46 – Integrated Development	22
4.3. Environmental Planning and Assessment Regulation 2000	23
4.3.1. Clause 92 – Demolition.....	23
4.3.2. Clause 98 – Compliance with the BCA.....	23
4.4. State Environmental Planning Policies	23
4.4.1. State Environmental Planning Policy No 55 – Remediation of Land	23
4.4.2. State Environmental Planning Policy No 64 – Advertising and Signage	24
4.5. Waverley Local Environmental Plan 2012	25
4.5.1. Zoning.....	25
4.5.2. Permissibility	26
4.5.3. Objectives	27
4.5.4. Height of Buildings.....	27
4.5.5. Floor Space Ratio.....	28
4.5.6. Architectural Roof Features	29
4.5.7. Heritage Conservation.....	30
4.5.8. Active Street Frontages	30
4.5.9. Solar access to public spaces in Bondi Junction	31
4.5.10. Design Excellence	32
5. Other Planning Considerations.....	34
5.1. Waverley Development Control Plan 2012	34
6. Environmental Impact Assessment	35
6.1. Overview	35
6.2. Context and Setting	35
6.3. Built Environment.....	35
6.3.1. Height, Bulk and Scale	35
6.3.2. Design and Aesthetics.....	35
6.3.3. Solar Access	35

6.3.4.	Privacy	36
6.3.5.	Views	36
6.3.6.	Public Domain	37
6.3.7.	Heritage	38
6.3.8.	Materials and Colour	38
6.3.9.	Building and Construction	39
6.4.	Natural Environment	39
6.4.1.	Tree Removal.....	39
6.4.2.	Landscape	39
6.4.3.	Water Management	40
6.4.4.	Soil Management	40
6.4.5.	Energy	40
6.4.6.	Air and Microclimate	41
6.4.7.	Noise and Vibration	41
6.5.	Movement and Access.....	42
6.5.1.	Transport.....	42
6.5.2.	Parking.....	42
6.5.3.	Traffic.....	42
6.5.4.	Deliveries	42
6.5.5.	Waste.....	43
6.5.6.	Accessibility.....	43
6.6.	Site Suitability	43
6.7.	Social and Economic Effects.....	43
6.7.1.	Crime and Safety.....	43
6.7.2.	Social, Economic and Employment.....	44
6.8.	Public Interest.....	44
7.	Conclusion	45

FIGURES

Figure 1: Context map with site identified by red marker (Source: Google Maps)	8
Figure 2: Bondi Junction Centre Map with site identified by green marker (Source: Waverley DCP)	9
Figure 3: Extract of site, existing buildings shaded, site boundary outlined red (Source: Nearmap)	10
Figure 4: View of the site from Spring St (left) and western facade of Boot Factory (right) (Source: Archer Office).....	12
Figure 5: View of Boot Factory and Normal Lee Place (left) Mill Hill Centre (right) (Source: Archer Office)	12
Figure 6: Approved development under DA 498/2017 (Source: Archer Office)	13
Figure 7: Spring Street Apartments (Source: Google Maps) Figure 8: Commercial building to east of site (Source: Google Maps).....	14
Figure 9: Officeworks building along Ebley Street (Source: Google Maps)	14
Figure 10: Extract of Site Plan (Source: Archer Office)	15
Figure 11: Extract of proposed materials and finishes (Source: Archer Office)	18
Figure 12: Extract of Landscape Plan (Source: Aspect Studios)	20
Figure 13: Extract of north elevation, proposed sign outlined red (Source: Archer Office).....	20
Figure 14: Extract of Land Zoning Map, site outlined red (Source: NSW Legislation)	26
Figure 15: Extract of Height Map, site outlined red (Source: NSW Legislation).....	28
Figure 16: Extract of FSR Map (Source: NSW Legislation)	28
Figure 17: Extract of Heritage Map (Source: NSW Legislation)	30
Figure 18: Extract and Active Street Frontages Map (Source: NSW Legislation)	31
Figure 19: Extract of 12pm shadow diagram (Source: Archer Office)	32
Figure 20: Extract of Key Sites Map (Source: NSW Legislation).....	32
Figure 21: Extract of Shadow Diagrams (Source: Archer Office)	36
Figure 22: Extract of Landscape Plan - Feature Plinth (Source: Aspect Studios).....	37
Figure 23: Materials and finishes (Source: Archer Office)	38
Figure 24: Extract of Landscape Plan (Source: Aspect Studios)	40

TABLES

Table 1: Legal Description of Site.....	9
Table 2: Proposed uses for new build.....	16
Table 3: Development Statistics.	17
Table 4: Section 4.15 of EP&A Act 1979.	22
Table 5: Assessment against the SEPP 64 Schedule 1	24
Table 6: GFA Summary Table.....	29

APPENDICES

Appendix	Document	Prepared by
1	DCP Compliance Table	City Plan
2	Architectural Plans	Archer Office
3	Survey Plan	Lockley
4	Heritage Impact Statement	Matt Devine & Co
5	Geotechnical Report	Douglas Partners
6	BCA Report	BCA Logic
7	Access Report	BCA Logic
8	Phase 1 Preliminary Site Investigation	Coffey
9	Stormwater Plans	Partridge
10	Cost Plan	MBM
11	Fire Safety Report	BCA Logic
12	Waste Management Plan	Elephants Foot
13	Acoustic Report	ADP
14	Transport Assessment	JMT Consulting
15	Arborist Report	Earthscape Horticultural Services
16	Section J and JV3 Report	BCA Energy
17	Plan of Management	Waverley Council
18	Design Report	Archer Office

1. EXECUTIVE SUMMARY

This Statement of Environmental Effects (SEE) has been prepared by City Plan Strategy and Development Pty Ltd (City Plan) to accompany a Development Application (DA) to and on behalf of Waverley Council. The site is located at 17-25 Spring Street, 27-33 Spring Street and 14-26 Ebley Street, Bondi Junction (the site).

This SEE has been prepared pursuant to Section 4.12 of the *Environmental Planning and Assessment Act 1979* and Clause 50 of the *Environmental Planning and Assessment Regulation 2000*. The purpose of this SEE is to:

- describe the proposed development and its context;
- assess the proposal against the applicable planning controls and guidelines; and
- assess the potential environmental impacts and mitigation measures

The objective for this project is to restore the existing 1890s three-storey brick warehouse that operated as a boot factory up until 1984 when it was acquired by Waverley Council. Following this acquisition, the building was restored by Council and operated as part of the Mill Hill Community Centre from 1986 until 2009 when it was deemed structurally unsafe. The proposal seeks to utilise the existing building, lobby and amenities in the Mill Hill Community Centre in connection with the Boot Factory building and the adjoining Norman Lee Place to create an 'Innovation and Knowledge Hub' for the local community.

Specifically, this SEE relates to the development proposal comprising of:

- Adaptive reuse of the Boot Factory building including internal and external alterations to facilitate the use of the building as a flexible community facility
- Alterations and additions to the Mill Hill Community Centre, including the construction of pedestrian walkway connections between the Mill Hill Community Centre and the Boot Factory on Levels 1 and 2
- One building identification sign on the Boot Factory building
- Landscaping and associated civil works.

Section 3 of this SEE provides a detailed description of the proposed works. The proposed development is defined as a "community facility" under the *Waverley Local Environmental Plan 2012* and is permissible with consent within the B4 Mixed Use Zone.

The proposed development is compatible with the existing and desired future of the locality, with the site being located within the Bondi Junction centre. The proposal relates to two existing buildings being the Mill Hill Community Centre and the Boot Factory. As the proposal does not involve any significant change to the exterior or envelope of these buildings, the proposal will remain compatible with the surrounding sites. The proposal offers the opportunity to restore and adaptively re-use a heritage item for community benefit. The proposed use of the site as a community facility is consistent with the existing use of the Mill Hill Community Centre and allows for a connection between the two buildings to create the proposed 'Innovation and Knowledge Hub'. The proposal will deliver a suitable and appropriate development for the site and is worthy of approval.

2. SITE ANALYSIS

2.1. Regional Context

The site is located in the eastern suburbs of Sydney in the Waverley local government area (LGA), approximately 3.5km south east of Sydney central business district (CBD). A map showing the location of the site in the context greater Sydney can be viewed in Figure 1.

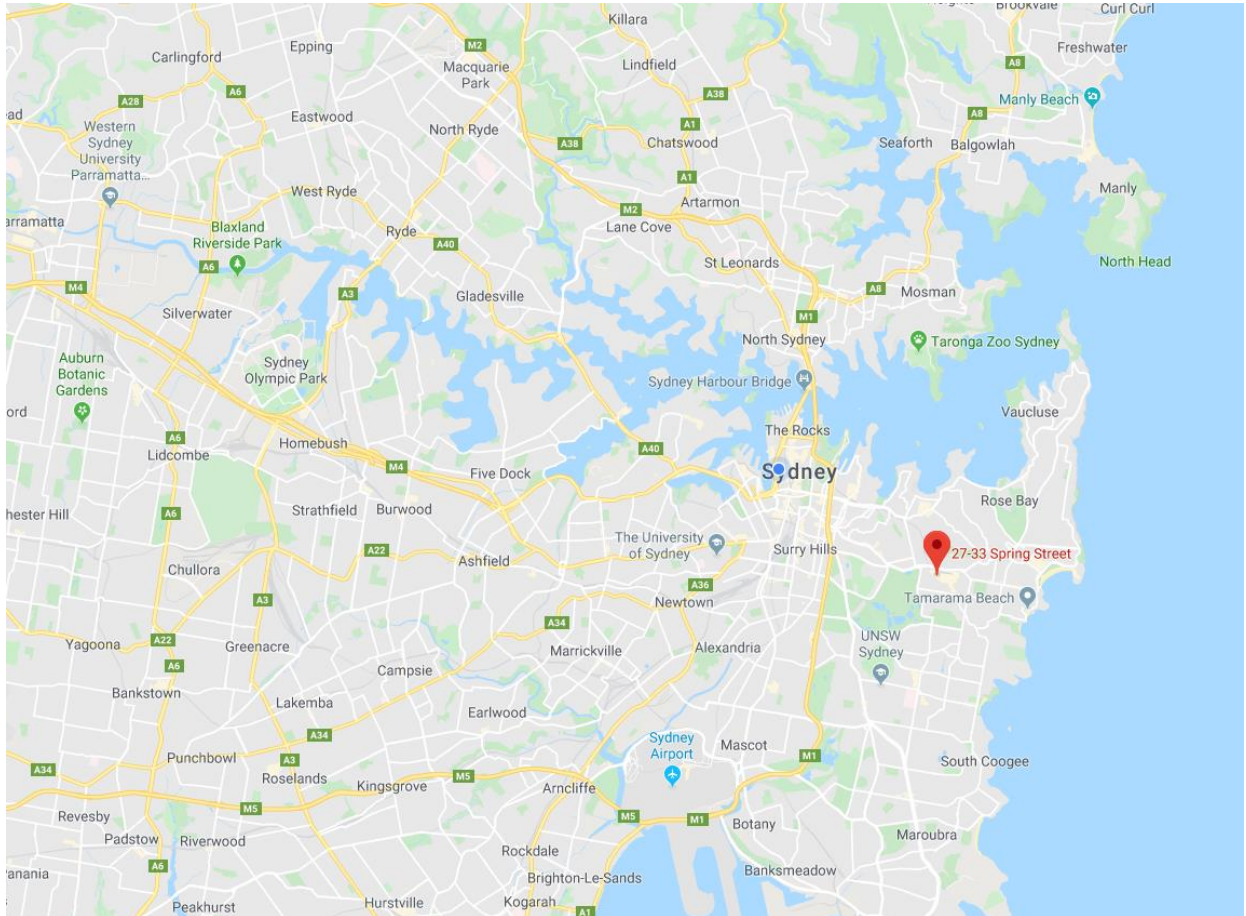


Figure 1: Context map with site identified by red marker (Source: Google Maps)

2.2. Local Context

The site is located within the suburb of Bondi Junction and forms part of the Bondi Junction strategic centre as shown in Figure 2.



Figure 2: Bondi Junction Centre Map with site identified by green marker (Source: Waverley DCP)

Bondi Junction is a mixed use centre containing predominantly high rise commercial and residential buildings with low density commercial buildings along Bronte Road and part of Oxford Street. Westfield Bondi Junction is located within the centre along with smaller shopping centres, including Eastgate Shopping Centre. Bondi Junction Interchange is located in the north of the centre and contains a train station and a number of bus services.

There is also a cluster of community facilities in the south west corner of the centre, where the subject site is located.

2.3. Site Address and Legal Description

The site is located at 17-33 Spring Street and 14-26 Ebley Street, Bondi Junction and comprises four lots which are legally described as follows:

Table 1: Legal Description of Site

Site	Address	Legal Description
Mill Hill Community Centre	27-33 Spring Street, Bondi Junction	Lot 7 DP499650
Boot Factory		Lot 6 Section A DP145
Spring Street Apartments	17-25 Spring Street, Bondi Junction	SP43551
Officeworks	14-26 Ebley Street, Bondi Junction	Lot 1 DP499536

A copy of the Survey Plan prepared by Lockley is provided at Appendix 3.

2.4. Site Description

2.4.1. Existing Improvements

The site has street frontages to Ebley Street and Spring Street and comprises a total area of approximately 5,984.36m². The proposed works are contained primarily within the property known as 27-33 Spring Street, with minor works proposed in part of 17-25 Spring Street and 14-26 Ebley Street. The site contains the Boot Factory building which was constructed in 1892 and is a three storey freestanding building. The building is setback from Spring Street and located behind an open forecourt known as Norman Lee Place. The Mill Hill Community Centre is located in the north east part of the site and is three storeys, with the third storey setback within the site. The existing Mill Hill Community Centre is built to the north, east and south site boundaries.

Other buildings located within the site subject to this application include the two storey retail building currently containing an Officeworks, in the south of the site. In the west of the site is a commercial and residential building known as Spring Street Apartments. This building comprises a three storey commercial podium with residential units located above.

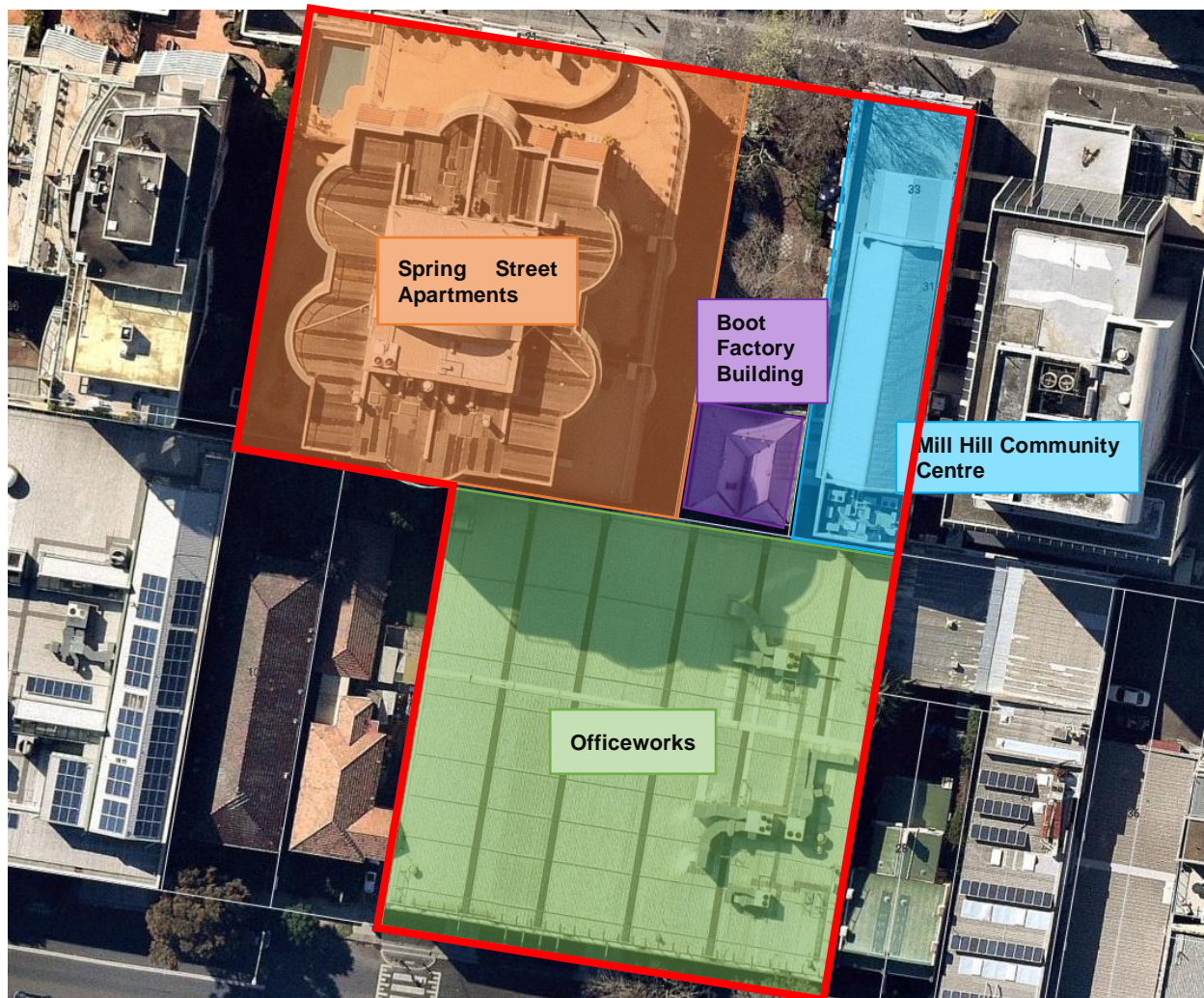


Figure 3: Extract of site, existing buildings shaded, site boundary outlined red (Source: Nearmap)

2.4.2. Topography

The site is relatively flat with RLs ranging from approximately 75.8 to 76.3 relative to the Australian Height datum. Refer to the Survey Plan prepared by Lockley at Appendix 3 for further detail.

2.4.3. Trees and Ecology

An Arboricultural Impact Assessment has been prepared by Earthscape Horticultural Services and is included at Appendix 13. It provides a detailed assessment of nine (9) trees that are on or adjoining the site. The site contains a number of mature London Plane trees and semi-mature Crepe Myrtle trees.

The site is not known to contain any threatened flora or fauna species or ecological communities and habitats.

2.4.4. Hazards

The site is not identified as being bushfire or flood prone land or land that is subject to potential geotechnical landslips.

2.4.5. Heritage

The Boot Factory Building is listed as heritage item no. 1236 under Schedule 5 Part 1 of the WLEP 2012. No other heritage items are located in the immediate vicinity of the site, nor is the site located within a heritage conservation area.

A Heritage Impact Statement has been prepared by Matt Devine and Co and is provided at Appendix 4.

2.4.6. Soils and Geotechnical Conditions

As discussed in the Geotechnical Report at Appendix 5, a previous investigation indicated that subsurface conditions at the site comprised 0.5 - 0.8 m depth of filling (mainly sand) overlying natural medium dense to dense sand then low to high sandstone at depths of 1.0 - 3.0 m, with the rock shallower to the north. Mapping indicates a low/negligible likelihood of soils within the site comprising acid sulfate soils.

Refer to the Geotechnical Report at Appendix 5 and the Site Contamination Report at Appendix 8 for further detail.

2.4.7. Stormwater

The existing drainage conditions are shown on the Survey Plan at Appendix 3 and the Stormwater Plans at Appendix 9.

2.4.8. Parking, Access and Transport

There are no off-street car parking spaces located on site for the Boot Factory or the Mill Hill Community Centre. As discussed in the Transport Assessment (Appendix 14), parking for staff of the Mill Hill Community Centre is provided within the Officeworks car park (to the south of the site) which is accessed via Ebley Street. 10 spaces within the Officeworks car park are provided for staff of the Mill Hill Community Centre and pedestrian access is provided directly between the car park and the basement level of the centre.

Parking for visitors of the area is provided both on local streets as well as within off-street parking areas. Ticket parking is generally available on nearby streets such as Ebley Street and Spring Street, with visitors able to park for between 30 minutes and three hours depending on the time of day.

The site is highly accessible by public transport, being located approximately a 5 minute walk from Bondi Junction train and bus interchange.

2.4.9. Site photos

Photos of the site are provided in the Figures 4 and 5.



Figure 4: View of the site from Spring St (left) and western facade of Boot Factory (right) (Source: Archer Office)

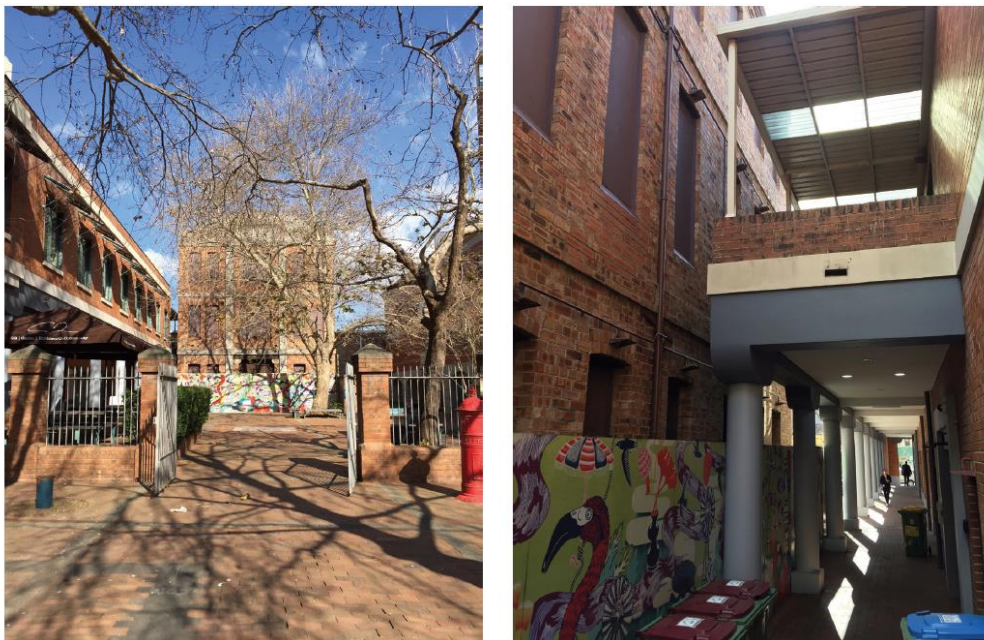


Figure 5: View of Boot Factory and Normal Lee Place (left) Mill Hill Centre (right) (Source: Archer Office)

2.5. Surrounding Development

2.5.1. Overview

To the east of the Mill Hill Community Centre is driveway access to basement parking and a commercial building located above. Immediately to the north of the site, across Spring Street, is a new development currently under construction. DA 498/2017 was approved on 13 December 2018 for the following works at 87, 89, 91, 93, 99 Oxford Street and 16, 18, 20, 22 Spring Street:

Demolition of existing structures; construction of a new 14 storey mixed use building comprising residential apartments, retail and commercial premises, and four basement levels; and associated planning agreement

DA 498/2017 includes a pedestrian through site link that connects from Oxford Street to Spring Street, immediately opposite the subject site. Figure 6 below demonstrates the connection of the approved pedestrian link through to the site (left) and the view of the approved development under DA 498/2017 from Norman Lee Place (right).

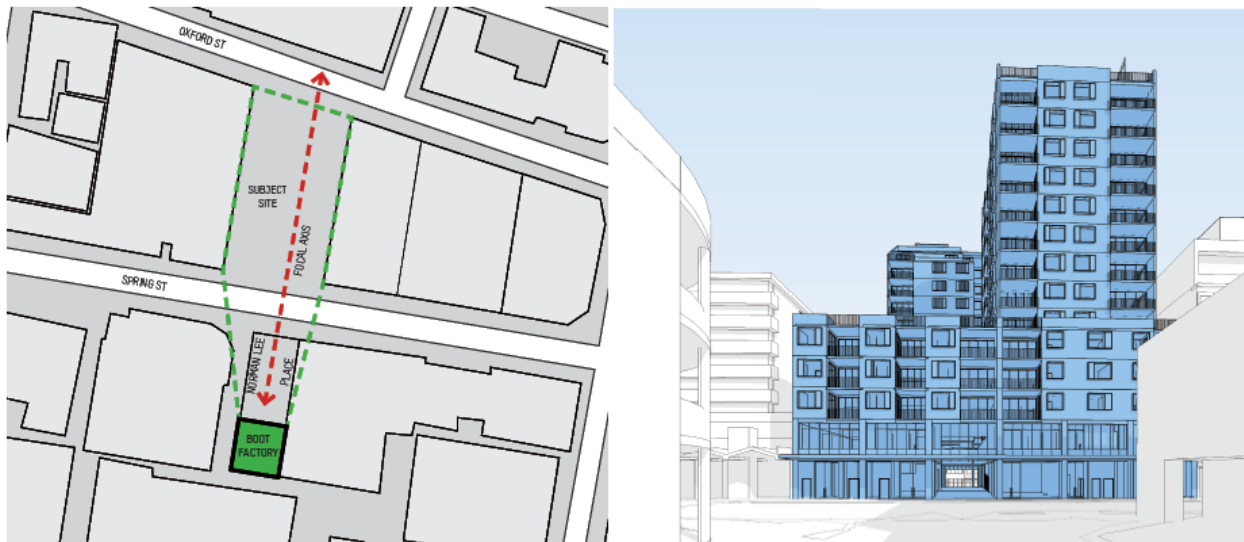


Figure 6: Approved development under DA 498/2017 (Source: Archer Office)

2.5.2. Photos of Surrounding Uses

Photos of the surrounding land uses are provided in the Figures 7 and 9.



Figure 7: Spring Street Apartments (Source: Google Maps)



Figure 8: Commercial building to east of site (Source: Google Maps)



Figure 9: Officeworks building along Ebley Street (Source: Google Maps)

As shown on the Site Plan, the proposed works take place across 3 sites. Specifically, the proposal includes:

- landscaping works on the adjoining site at 17-25 Spring Street
- new stairs within the site boundary of 14-26 Ebley Street, Bondi Junction (to the rear of the building at 17-25 Spring Street)
- the remainder of works are located within the public domain along Spring Street and in 27-33 Spring Street.

3.3. Demolition

The proposed demolition works comprise:

- Norman Lee Place - removal of paving, existing tennis table, bike racks, garbage bins, post box, front fence, retaining walls and planters.
- Boot Factory - remove existing doors, partitions, fittings, timber floors, metal roof, roof structure, gutters and downpipes.
- Mill Hill Community Centre - demolish existing pavement at colonnade, doors and masonry walls, columns, Level 1 terrace and internal partitions, Level 2 internal partitions, existing roof canopy and north wall and opening to outdoor terrace.

Refer to the Demolition Plans prepared by Archer Office at Appendix 2 for further detail.

3.4. Tree Removal

The proposal includes the removal of five trees (T4, T6, T7, T8 and T9) within Norman Lee Place. As discussed in the Arboricultural Impact Assessment (Appendix 15), the trees proposed to be removed are of low retention value. Tree removal is discussed in further detail in Section 6.4.1 of this SEE.

3.5. Construction

Key construction elements for the proposal are summarised level by level in the table below:

Table 2: Proposed uses for new build.

Level	Works
Ground Floor	<p>Normal Lee Place</p> <ul style="list-style-type: none"> ▪ New sprinkler booster cabinet ▪ Raised concrete plinth ▪ Raised timber deck ▪ New fire services cabinet ▪ New stairs to the rear of 17-25 Spring Street ▪ Landscaping within Norman Lee Place <p>Boot Factory</p> <ul style="list-style-type: none"> ▪ Internal alterations and additions to facilitate an entry, office and flexible community space ▪ New doors to existing opening ▪ New signage 'BOOT FACTORY' metal cutout letters, backlit above entry

Level	Works
	Mill Hill Community Centre <ul style="list-style-type: none"> New door to the lobby Paint existing columns, beam over columns and brick base behind
Level 1	<ul style="list-style-type: none"> Construction of new terrace connecting the Mill Hill Community Centre Building to the Boot Factory Boot Factory <ul style="list-style-type: none"> Internal alterations and additions to facilitate a flexible community space New timber floor Mill Hill Community Centre <ul style="list-style-type: none"> Internal alterations and additions to facilitate flexible community space including a reception, kitchenette, office/meeting rooms
Level 2	<ul style="list-style-type: none"> Construction of new terrace connecting the Mill Hill Community Centre Building to the Boot Factory Boot Factory <ul style="list-style-type: none"> Internal alterations and additions to facilitate a flexible community space New timber floor Mill Hill Community Centre <ul style="list-style-type: none"> Internal alterations and additions to facilitate flexible community space including a reception, kitchenette, flexible working spaces, storage, new doors to terrace, outdoor BBQ and kitchenette and new structure supporting new roof canopy
Roof	Boot Factory <ul style="list-style-type: none"> New metal roof with skylight Mill Hill Community Centre <ul style="list-style-type: none"> New roof canopy over existing external terrace

3.6. Development Statistics

The key statistics and elements of the project are shown in Table 3:

Table 3: Development Statistics.

Element	Proposal
Site Area	17-25 Spring Street - 2,390.81m ² 27-33 Spring Street - 1,200.4m ² 14-26 Ebley Street - 2393.15 m ² Total site area: 5984.36m²
Gross Floor Area	1,502m ² (within 27-33 Spring Street site boundaries)
Maximum Height	14.85m (to top of Boot Factory roof ridge)

3.7. Use

The Boot Factory will be used as a 'flexible community facility' for a range of uses that may include events, exhibitions, talks, workshops, community meetings, conferences, spaces for hire, fundraising events and Council meetings.

Specifically, it is envisaged events of the following scale will take place in the proposed development:

- Function areas within the Boot Factory (on both level 1 and 2), with a capacity of 50 people;
- Rooftop terrace and BBQ area on the Mill Hill centre, with a capacity of 150 people;
- Ground level including courtyard, with a capacity of 100 people.

A Plan of Management has been prepared by Waverley Council and is provided at Appendix 17. The Plan of Management includes details of the proposed venue management.

3.8. Hours of Operation

The intended operating hours are 7am - 12pm Monday to Sunday.

3.9. Architectural Intent

Refer to the Design Report prepared by Archer Office and provided at Appendix 18 for details of the architectural intent.

3.10. Materiality and Façade Treatment

An extract of the proposed materials and finishes is provided in Figure 11 below.



Figure 11: Extract of proposed materials and finishes (Source: Archer Office)

3.11. Public Art

The landscape plans identify the northern elevation of 14-26 Ebley Street (at the rear of the Boot Factory Building) as a proposed location for feature artwork. The contents of this public art is not proposed under this application, only the location. Refer to the Landscape Plan at Appendix 17.

3.12. Landscaping

A Landscape Plan has been prepared by Aspect Studios and is provided at Appendix 17.

The proposed landscape design for the Boot Factory courtyard draws upon the heritage, environment and cultural context of the area while complementing the community uses of the proposed buildings. The public domain areas have been designed with regards to the following design principles:

- Provide public open space that is flexible in use, catering for a variety of users groups of varying ages;
- Respond to existing site conditions including the existing trees and 'courtyard' typology.
- Consider the public space beyond the site, extending into Spring Street
- Improve biodiversity and environmental protection through appropriate plant selection, hard materials and water sensitive urban design initiatives;
- Ensure that the public domain is designed with crime prevention initiatives including good surveillance, sight lines and appropriate lighting levels;
- Provide public domain that has been designed for longevity through use of robust materials;
- Respond to the proposed built form including entry points and building use.

The proposed landscape works include feature timber seating plinth/stage, timber table and bench, concrete seating plinth with timber seating inset, upgrade to existing ramp at front of Mill Hill community centre, relocate existing water fountain and heritage plaques.

The proposal includes understorey mass planting, climbing planting and feature planting in trough planters underneath window sills of Mill Hill community centre. 6 bicycle parking spaces are proposed within the site adjoining the Spring Street frontage.

An extract of the proposed landscape plan is provided in Figure 12 below.

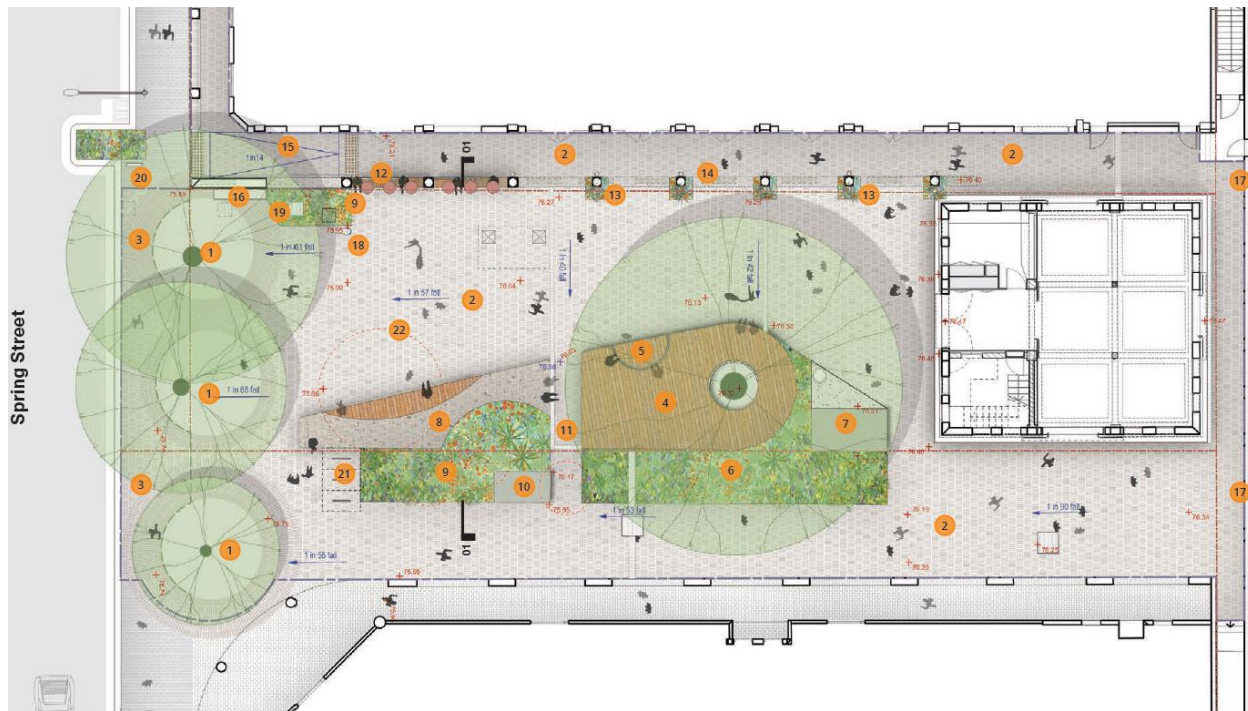


Figure 12: Extract of Landscape Plan (Source: Aspect Studios)

3.13. Signage

The proposed works include a new sign above the Boot Factory ground floor entrance on the north elevation. This building identification sign will comprise "BOOT FACTORY" in metal cutout letters and will be backlit. The dimensions of the sign will fit within the existing steel beam. The proposed sign is 250mm x 2900mm and located 3.34m above ground level.

An extract of the proposed sign on the north elevation is provided in Figure 13 below.

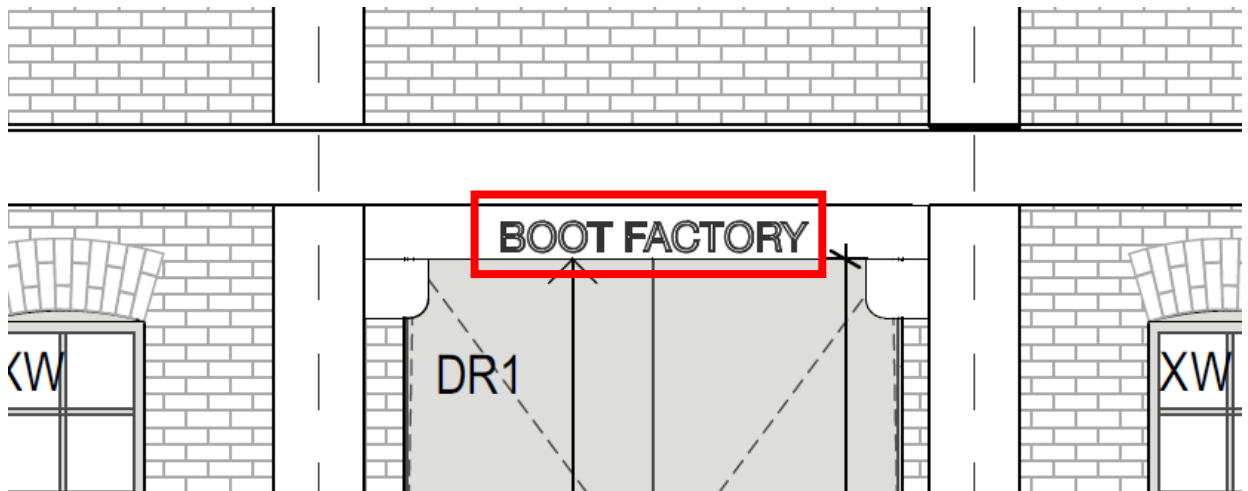


Figure 13: Extract of north elevation, proposed sign outlined red (Source: Archer Office)

3.14. Access and Parking

3.14.1. Parking

The proposal does not seek to include any car parking on-site, consistent with the existing parking arrangement. As discussed in the Transport Assessment (Appendix 14), at present parking for staff of the Mill Hill Community Centre is provided within the Officeworks car park which is accessed via Ebley Street. 10 spaces within the Officeworks car park are provided for staff and pedestrian access is provided directly between the car park and the Mill Hill Community Centre.

Parking for visitors of the area is provided both on local streets as well as within off-street parking areas. Ticket parking is generally available on nearby streets such as Ebley Street and Spring Street, with visitors able to park for between 30 minutes and three hours depending on the time of day.

Parking is discussed in further detail in Section 6.5.2 of this SEE and in the Transport Assessment at Appendix 14.

3.14.2. Pedestrian Access

The proposal provides new seating, tables and planting within the site. These works will result in minor changes to the existing pedestrian paths within the site. The proposal will increase connectivity to Spring Street for pedestrians by removing the existing front fence and creating a new inviting space for the community to use.

The connection of the Boot Factory building and Mill Hill Community Centre on Levels 1 and 2 will increase pedestrian access within the site. Specifically, the connection of these buildings allows for the Boot Factory to be more accessible, by sharing the existing lift access and facilities within the Mill Hill Community Centre.

3.15. Infrastructure and Utility Works

3.15.1. Civil Engineering

The proposed works include stormwater improvements as shown on the Stormwater Concept Plans prepared by Partridge and provided at Appendix 9. Bypass runoff will be directed towards the tree pits to allow for passive irrigation in Norman Lee Place. A new stormwater kerb inlet is proposed to be installed along Spring Street.

Refer to the Stormwater Concept Plans at Appendix 9 for further detail.

3.16. Cost of Construction

The cost of construction is estimated at \$5,309,732 (excluding GST). Refer to the Cost Plan prepared by MBM at Appendix 10 for further detail.

4. STATUTORY PLANNING CONSIDERATIONS

4.1. Overview

The relevant statutory framework considered in the preparation of this report comprises:

- Environmental Planning and Assessment Act 1979;
- Environmental Planning and Assessment Regulation 2000;
- State Environmental Planning Policy No. 55;
- State Environmental Planning Policy No 64 – Advertising and Signage; and
- Waverley Local Environmental Plan 2012.

Where relevant, these controls are addressed below.

4.2. Environmental Planning and Assessment Act 1979

4.2.1. Section 4.15 of EP&A Act 1979

Section 4.15(1) of the Act as amended specifies the matters which a consent authority must consider when determining a development application. The relevant matters for consideration under Section 4.15 of the Act are addressed in the Table below.

Table 4: Section 4.15 of EP&A Act 1979.

Section	Comment
Section 4.15(1)(a)(i) Any environmental planning instrument	Consideration of relevant instruments is discussed in Section 4.
Section 4.15(1)(a)(ii) Any draft environmental planning instrument	Not relevant to this application.
Section 4.15(1)(a)(iii) Any development control plan	Consideration of relevant the development control plan is discussed in Section 5 and in the DCP Compliance Table at Appendix 1.
Section 4.15(1)(a)(iiia) Any planning agreement	Not relevant to this application.
Section 4.15(1)(a)(iv) Matters prescribed by the regulations	Consideration of the various matters prescribed by the regulations is included at Section 4.3 of this SEE.
Section 4.15(1)(b) - (e)	Refer to Section 6 of this SEE for consideration of (b), (c) and (e). Matter (d) relates to submissions and is a matter for the consent authority.

4.2.2. Section 4.46 – Integrated Development

This section of the Act defines integrated development as matters which require consent from Council and one or more approvals under related legislation. In these circumstances, prior to granting consent Council must obtain from each relevant approval body their General Terms of Approval (GTA) in relation to the development.

The proposed development does not require any approvals listed under section 4.46 of the EP&A Act and therefore is not integrated development.

4.3. Environmental Planning and Assessment Regulation 2000

4.3.1. Clause 92 – Demolition

All demolition work will be undertaken in accordance with Clause 92 of the Regulation requiring the consent authority to consider AS 2601 - 1991: The Demolition of Structures.

4.3.2. Clause 98 – Compliance with the BCA

Pursuant to the prescribed conditions under Clause 98 of the Regulation, any building work *"must be carried out in accordance with the requirements of the Building Code of Australia"*. A BCA Report has been prepared by BCA Logic and is provided at Appendix 6.

4.4. State Environmental Planning Policies

4.4.1. State Environmental Planning Policy No 55 – Remediation of Land

State Environmental Planning Policy No. 55 – Remediation of Contaminated Lands (SEPP 55) establishes State-wide provisions to promote the remediation of contaminated land.

Clause 7 of the SEPP 55 requires that a consent authority must not grant consent to a development unless it has considered whether a site is contaminated, and it is satisfied that the land is suitable (or will be after undergoing remediation) for the proposed use.

A Phase 1 Preliminary Site Investigation has been prepared by Coffey and is provided at Appendix 8. The report identifies that potential sources of contamination identified at the site comprise:

- *Former use of the site as a boot manufacturing factory with the use of various types of chemicals for a period of almost 80 years.*
- *Imported fill material from unknown sources, which may have been contaminated. Building rubble was observed in the fill in previous investigations.*
- *Poor renovation practices or deterioration (of heritage building to the south) and/or demolition of former buildings in the northern portion of the site suspected of containing hazardous building materials.*

Coffey recommends that:

- *Hazardous building materials assessment of the boot factory building prior to demolition is undertaken.*
 - *A Phase 2 Detailed site investigation is carried out to reduce uncertainty associated with the potential sources of contamination identified.*
- Coffey considers that the site can be made suitable for the proposed redevelopment in accordance with SEPP55, although the findings of the proposed Phase 2 Detailed site investigation are needed to determine whether remediation is required to mitigate risks from the potential sources of contamination identified.*

We consider that consent may be granted in the terms of Clause 7 on the basis that:

- The hazardous building materials assessment be conditioned and completed prior to demolition.
- The preparation of a Phase 2 Detailed Site Investigation be conditioned and completed prior to the issue of a construction certificate.

4.4.2. State Environmental Planning Policy No 64 – Advertising and Signage

State Environmental Planning Policy No. 64-Advertising and Signage (SEPP 64) applies to all signage that can be displayed with or without development consent and is visible from any public space or public reserve.

The proposed development includes one (1) sign consistent with the definition of a 'building identification sign'. The sign is proposed on the building's north elevation with dimensions 250mm x 2900mm. It will comprise cut-out metal letters in a dark colour and is sited 3.34 metres above ground level.

Clause 3 of SEPP 64 identifies the aims of the policy that a consent authority must consider before granting consent. The proposed business identification sign is considered consistent with the aims of SEPP 64 as follows:

- is of a low scale that is consistent with the desired amenity and visual character of the mixed-use area;
- identifies the name of the building in English along its north elevation fronting Norman Lee Place; and
- is of a high-quality and simplistic design that is compatible with the nature, materiality of the proposal and heritage significance of the building.

A consent authority must not grant development consent to an application to display signage unless the consent authority is satisfied that the proposed signage satisfies the assessment criteria specified in Schedule 1 of SEPP 64. The signage is consistent with the assessment criteria in Schedule 1 of SEPP 64 as detailed in the following table.

Table 5: Assessment against the SEPP 64 Schedule 1

Assessment Criteria	Response
Character of the area	The proposed development is compatible with the existing and desired future character of this mixed-use area within Bondi Junction centre and consistent with other outdoor advertising in the locality in that it involves the placement of building identification signage on the façade, where it is near the entrance to the building and is easily identifiable.
Special areas	<p>The proposed signage has been integrated into the existing façade of the Boot Factory building and comprises sympathetic materials and colours that ensure it does not detract from the amenity or visual quality in this area. The proposed signage is only clearly visible from within the site.</p> <p>For the reasons identified above the proposed development also does not detract from amenity or visual quality of the surrounding area.</p> <p>No other special areas such as environmentally sensitive areas, natural or other conservation areas, waterways and rural landscapes are located in the vicinity of the site that would have their amenity or visual quality adversely impacted by the proposed signage on the building.</p>

Assessment Criteria	Response
Views and vistas	<p>The proposed building identification sign is located on the building's north elevation and integrated within the overall design of the existing building such that it does not obscure or compromise any existing views.</p> <p>The sign is of a low scale and is sited 3.34 metres above the ground. Subsequently, the sign does not dominate the skyline or reduce vista quality.</p> <p>Noting the landscape setting of the proposed development and the location of the sign on a building that is well setback from the street, the viewing rights of other advertisers in the locality are respected.</p>
Streetscape, setting or landscape	<p>The proposed signage is integrated into the overall design of the existing building such that it does not protrude above buildings, structures or tree canopies.</p>
Site and building	<p>The proposed signage has been integrated into the overall design of the existing Boot Factory building to ensure that important features of the site and the building are appropriately respected and maintained. This ensures the signage is viewed as subservient to the building.</p> <p>The building identification sign is proportionate to the size of the building façade.</p>
Associated devices and logos	<p>The signage does not require additional platforms or the like.</p>
Illumination	<p>The cutout letters are proposed to be backlit. The sign will be illuminated to meet the relevant standards. The proposed signage will comply with all relevant requirements of AS 4282-2019 Control of the Obtrusive Effects of Outdoor Lighting.</p>
Safety	<p>The proposed signage is well setback from Spring Street and therefore will not reduce the safety of vehicles, pedestrians or cyclists.</p>

Based on the above assessment of the proposed signage against the Schedule 1 assessment criteria for SEPP 64, the proposed signage the subject of this application is appropriate and consistent with the SEPP provisions.

4.5. Waverley Local Environmental Plan 2012

4.5.1. Zoning

Pursuant to Clause 2.2 of the WLEP 2012, the site is zoned B4 Mixed Use. Refer to the extract of the Land Zoning Map in Figure 14 below.

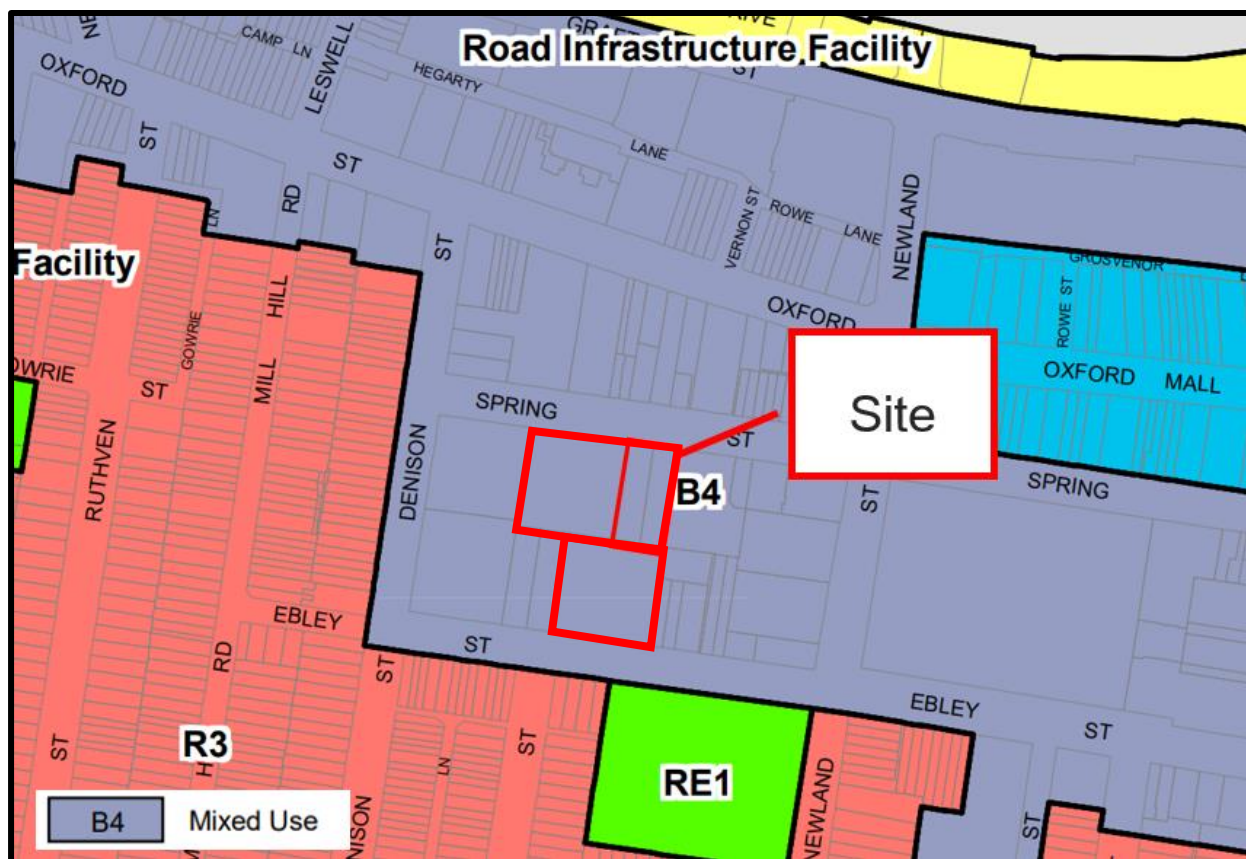


Figure 14: Extract of Land Zoning Map, site outlined red (Source: NSW Legislation)

4.5.2. Permissibility

The proposed development is defined as a "community facility" under the Waverley Local Environmental Plan 2012 and is permissible with consent within the B4 Mixed Use Zone.

Community facilities are defined as follows.

community facility means a building or place—

- (a) owned or controlled by a public authority or non-profit community organisation, and
 - (b) used for the physical, social, cultural or intellectual development or welfare of the community,
- but does not include an educational establishment, hospital, retail premises, place of public worship or residential accommodation.

In the B4 Mixed Use Zone "community facilities" are permitted with consent. Refer to Land Use Table below.

2 Permitted without consent

Home occupations

3 Permitted with consent

*Boarding houses; Building identification signs; Business identification signs; Centre-based child care facilities; Commercial premises; **Community facilities**; Educational establishments; Entertainment facilities; Function centres; Hostels; Hotel or motel accommodation; Information and education facilities; Light industries; Medical centres; Passenger transport facilities; Oyster aquaculture; Recreation facilities (indoor); Registered clubs; Respite day care centres; Restricted premises; Roads; Self-storage units; Seniors housing; Shop top housing; Tank-based aquaculture; Any other development not specified in item 2 or 4*

4 Prohibited

Agriculture; Air transport facilities; Airstrips; Amusement centres; Boat building and repair facilities; Boat launching ramps; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Charter and tourism boating facilities; Crematoria; Depots; Eco-tourist facilities; Electricity generating works; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Forestry; Freight transport facilities; Heavy industrial storage establishments; Helipads; Highway service centres; Home occupations (sex services); Industrial retail outlets; Industrial training facilities; Industries; Jetties; Marinas; Mooring pens; Moorings; Open cut mining; Pond-based aquaculture; Recreation facilities (major); Research stations; Residential accommodation; Resource recovery facilities; Rural industries; Sex services premises; Signage; Storage premises; Transport depots; Truck depots; Warehouse or distribution centres; Waste disposal facilities; Water recreation structures; Water supply systems; Wharf or boating facilities

4.5.3. Objectives

Clause 2.3(2) of the WLEP 2012 provides that Council must have regard to the zone objectives when determining a development application. The objectives for the B4 Mixed Use Zone are;

- *To provide a mixture of compatible land uses.*
- *To integrate suitable business, office, residential, retail and other development in accessible locations so as to maximise public transport patronage and encourage walking and cycling.*
- *To encourage commercial uses within existing heritage buildings and within other existing buildings surrounding the land zoned B3 Commercial Core.*

The proposed development is consistent with the above objectives in that:

- It will provide flexible community spaces within the Bondi Junction centre which is compatible with the surrounding land uses
- The site is located in a highly accessible location being a 5 minute walk from Bondi Junction Interchange, which will encourage people to use public transport to access the site. There is a well developed network of walking and cycling routes in the vicinity of the site. Footpaths are generally provided on both sides of the street, with pedestrian crossing opportunities at signalised intersections. The site is also in proximity to a number of cycling routes within the Bondi Junction centre.
- The proposal encourages a new flexible community space within the Boot Factory heritage building.

4.5.4. Height of Buildings

The site is subject to a maximum building height of 32m pursuant to the WLEP 2012. Refer to Figure 15 Maximum Building Height Map below.

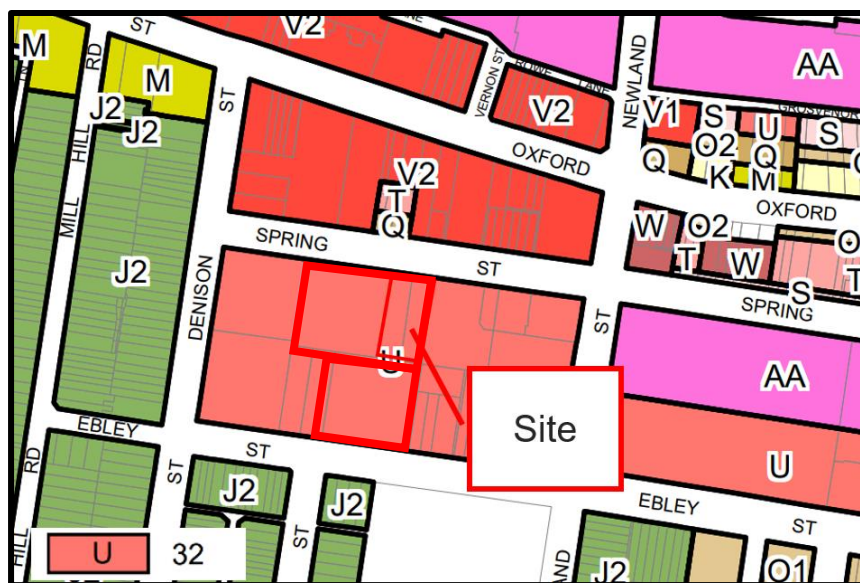


Figure 15: Extract of Height Map, site outlined red (Source: NSW Legislation)

The proposed works result in a maximum building height of approximately 14.85m to the top of the Boot Factory roof ridge. The proposed skylight on the Boot Factory roof has a maximum height of 15.45m, however as discussed under Section 4.5.6 this constitutes an architectural roof feature and does not contribute to the maximum building height.

The proposal does not exceed the maximum building height of 32m that applies to the site.

4.5.5. Floor Space Ratio

The site is subject to a maximum floor space ratio (FSR) of 4:1 pursuant to the WLEP 2012. Refer to the extract of the FSR map in Figure 16.

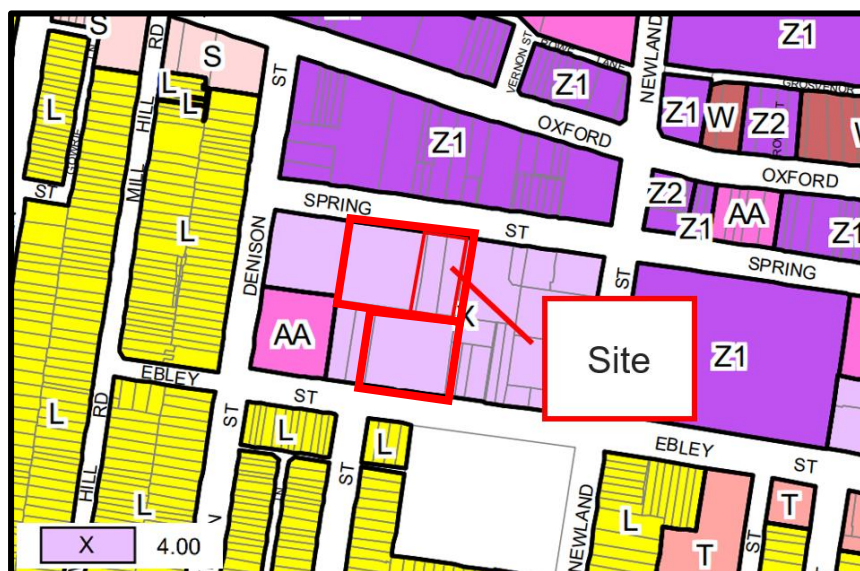


Figure 16: Extract of FSR Map (Source: NSW Legislation)

Table 6 summarises the proposed gross floor area (GFA) per site.

Table 6: GFA Summary Table

Site	Proposed works	Proposed GFA	Proposed FSR
27-33 Spring Street	Alterations and additions to the existing Boot Factory and Mill Hill Community Centre buildings	1,502m ²	1.25:1
17-25 Spring Street	Landscape works proposed on ground floor	NIL	N/A
14-26 Ebley Street	External stairs proposed	NIL	N/A
Total:		1,502m²	1.25:1

GFA diagrams have been prepared by Archer Office and are provided in the Architectural Plans at Appendix 2. As shown on the diagrams, the total proposed GFA within the connected Boot Factory building and Mill Hill Community Centre is 1,502m². The relevant site area (27-33 Spring Street, Bondi Junction) is 1,200.4m² and therefore equates to a total FSR of 1.25:1. As shown on the GFA diagrams the proposal results in a minor increase to the existing GFA from 1,498m² to 1,502m² (4m² increase).

Notwithstanding, the proposal results in a total FSR of 1.25:1 which complies with the maximum FSR of 4:1 prescribed in the WLEP.

The proposed works within the sites at 17-25 Spring Street and 14-26 Ebley Street are minor, external and do not result in any additional GFA. Therefore, the GFA and FSR on the sites at 17-25 Spring Street and 14-26 Ebley Street have not been considered.

4.5.6. Architectural Roof Features

Clause 5.6 of the WLEP relates to architectural roof features and identifies the following objectives:

- (a) to encourage the creation of a varied and aesthetically pleasing skyline,
- (b) to encourage quality roof designs that contribute to the aesthetic and environmental design and performance of buildings and allow for individuality of architecture,
- (c) to encourage the integration of the design of the roof into the overall facade, building composition and desired contextual response,
- (d) to minimise the external impact of roof features, in particular with respect to solar access and views.

The proposed skylight on the Boot Factory roof has a maximum height of 15.45m, however this part of the building constitutes an architectural roof feature and does not contribute to the maximum building height. Therefore, the maximum building height, to the top of the Boot Factory roof ridge, is 14.85m.

4.5.7. Heritage Conservation

The site contains local heritage item Boot Factory building (I236) as shown in Figure 17 below.

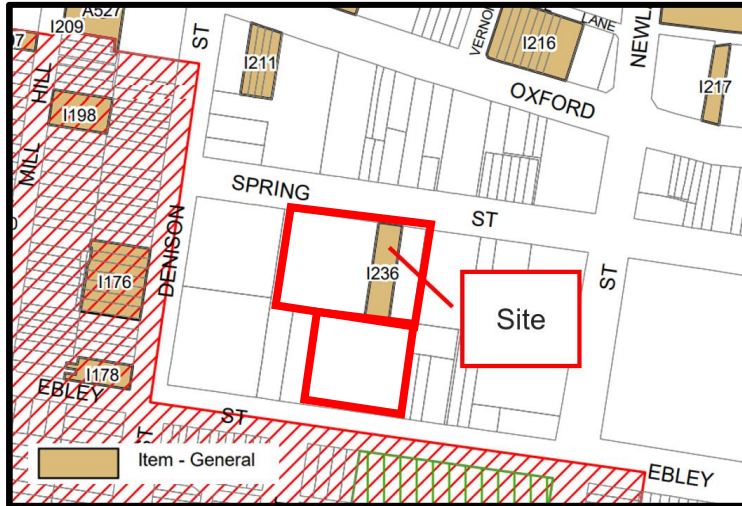


Figure 17: Extract of Heritage Map (Source: NSW Legislation)

A Heritage Impact Statement has been prepared by Matt Devine & Co and is provided at Appendix 4. The proposed works will have no impact upon the existing external form other than minor changes to the roof form. The existing character of the almost cubic form remains unchanged, with only minor changes to the building facades.

The existing relationship of the Boot Factory to Spring Street is integral to its heritage significance and this is reinforced in the proposed concept. The prominent nature of the northern façade remains.

The proposed upgrade of the Boot Factory respects the identified essential characteristics of the Boot Factory that are integral to its heritage significance. Refer to the Heritage Impact Statement at Appendix 4 for further detail.

4.5.8. Active Street Frontages

The site is identified as "active street frontage" under the WLEP 2012 as shown in Figure 18.



Figure 18: Extract and Active Street Frontages Map (Source: NSW Legislation)

The objective of this clause is to promote uses that attract pedestrian traffic along certain ground floor street frontages in Zone B3 Commercial Core and Zone B4 Mixed Use in the Bondi Junction Centre. The proposed use of the Boot Factory as a community facility will satisfy this objective as it will increase pedestrian traffic to the site and activity within Norman Lee Place. The proposed landscape works to Norman Lee Place including the proposed seating, planting and removal of the front fence will encourage pedestrians to use the space, further increasing pedestrian activity.

4.5.9. Solar access to public spaces in Bondi Junction

The objective of this clause is to ensure that buildings are designed to maximise sunlight access to the public places set out in Clause 6.7 of the WLEP.

(2) Despite any other provision of this Plan, development consent must not be granted to development that results in any part of a building causing an additional shadow impact at 12 noon on 21 June on the following:

- (a) Clemenston Park,*
- (b) Waverley Street Mall,*
- (c) Eora Park,*
- (d) Norman Lee Place (also known as the Boot Factory), other than the shadow that would be cast by a notional wall, with a vertical height of 20 metres, located on the southern boundary of any lot that adjoins the northern alignment of Spring Street,*
- (e) Oxford Street Mall (between Bronte Road and Newland Street), other than the shadow that would be cast by a notional wall, with a vertical height that matches the relevant height on the Height of Buildings Map, located on the southern boundary of any lot that adjoins the northern alignment of Oxford Street.*

The site contains Norman Lee Place which is identified under Clause 6.7 of the WLEP. As shown on the Shadow Diagrams at Appendix 2 and , the proposal will satisfy the objective of this clause as it will not result in any additional overshadowing of Norman Lee Place at 12 noon on 21 June.

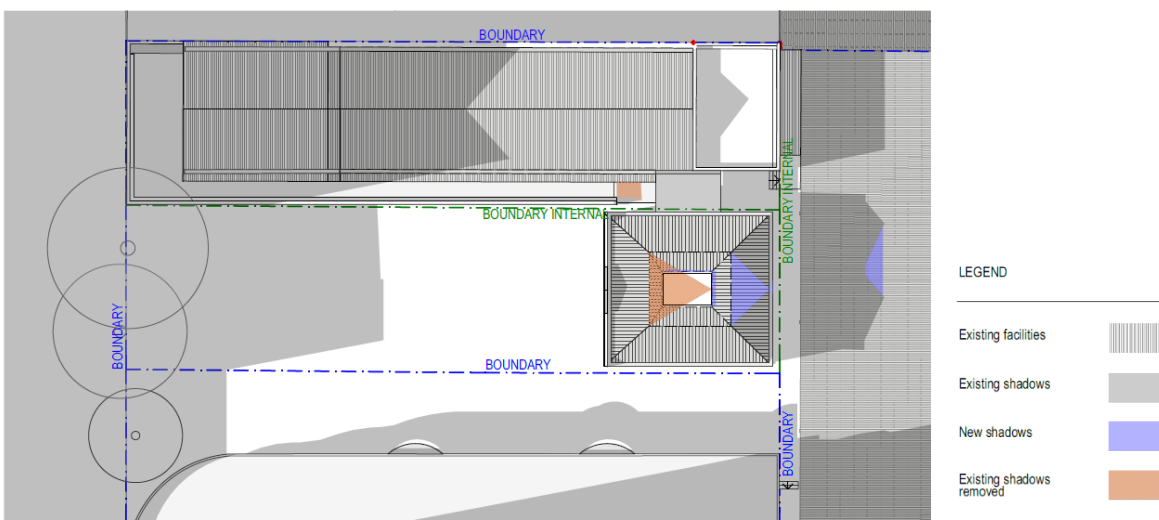


Figure 19: Extract of 12pm shadow diagram (Source: Archer Office)

4.5.10. Design Excellence

The objective Clause 6.9 of the WLEP is to deliver the highest standard of sustainable architectural and urban design.

This clause applies to development that:

- (a) is on land shown coloured light green on the Key Sites Map, and
- (b) involves the erection of a new building, or external alterations to an existing building, that has (or, as a result of the development, would have) a building height equal to, or greater than, 15 metres.

As shown in Figure 20, the site is identified on the Key Sites Map

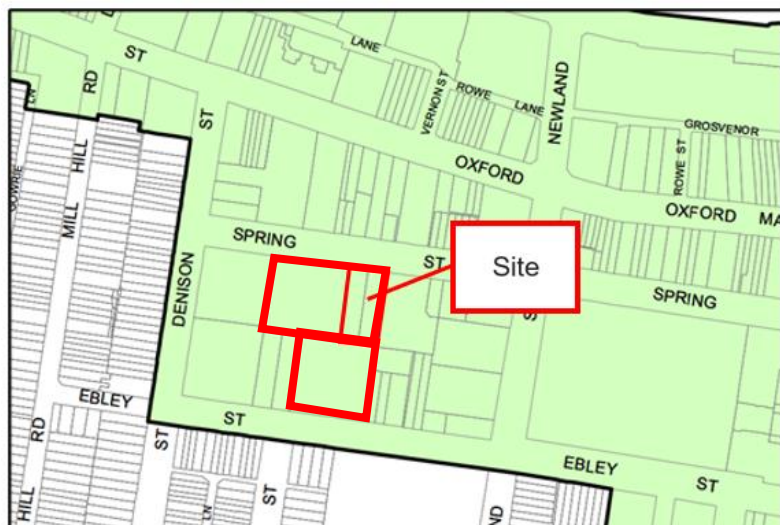


Figure 20: Extract of Key Sites Map (Source: NSW Legislation)

As discussed in Section 4.5.4, the proposed works result in a maximum building height of 14.85m. As the proposed works do not result in a building greater than 15m, Clause 6.9 of the WLEP does not apply to the development.

5. OTHER PLANNING CONSIDERATIONS

5.1. Waverley Development Control Plan 2012

Consideration of compliance and/or consistency with the relevant provisions within the Waverley Development Control Plan (WDCP) 2012 is provided in the Planning Compliance Table prepared by City Plan provided at Appendix 1.

The Table of Compliance demonstrates full compliance with the relevant provisions of the WDCP 2012.

6. ENVIRONMENTAL IMPACT ASSESSMENT

6.1. Overview

This section identifies and assesses the impacts of the development with specific reference to the heads of consideration under Section 4.15 of the Act.

6.2. Context and Setting

The context and setting of the development site is described in Section 2 of this Statement.

The proposed development is compatible with the existing and desired future of the locality, with the site being located within the Bondi Junction centre. The proposal relates to two existing buildings being the Mill Hill Community Centre and the Boot Factory. As the proposal does not involve any significant change to the exterior of these buildings, the proposal will remain compatible with the surrounding sites. The proposed use of the site as a community facility is consistent with the existing use of the Mill Hill Community Centre and allows for a connection between the two buildings and Norman Lee Place to create a hub.

6.3. Built Environment

6.3.1. Height, Bulk and Scale

The proposed works result in a maximum building height of approximately 14.85m to the Boot Factory roof ridge. The proposal does not exceed the maximum building height of 32m that applies to the site.

As discussed in the DCP Compliance Table at Appendix 1, the proposal does not seek to change the existing setbacks, building footprint or street alignment of the existing buildings. The proposed exterior changes will not increase the bulk or scale of the existing buildings. The proposed walkway structure between the two buildings will not be enclosed to minimise any visual impacts of the addition.

Overall the proposal does not seek to significantly alter the existing building envelopes, minimising the opportunity for any adverse impacts on surrounding properties.

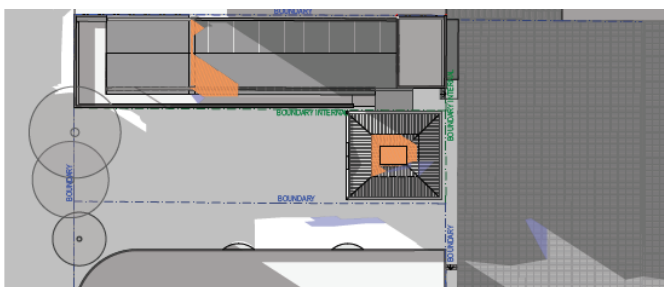
6.3.2. Design and Aesthetics

The proposal represents a well considered, high quality design response to ensure the ongoing conservation and adaptive re-use of the heritage item.

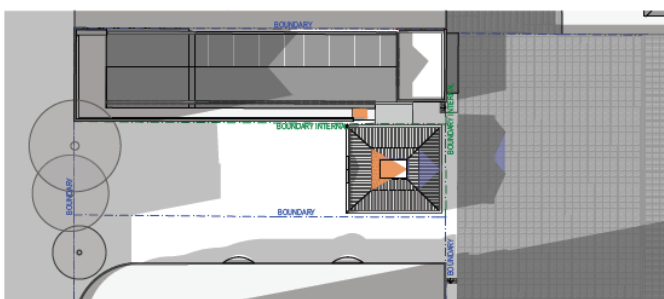
Refer to the Design Report prepared by Archer Office at Appendix 18 for full details of the proposed design and aesthetics.

6.3.3. Solar Access

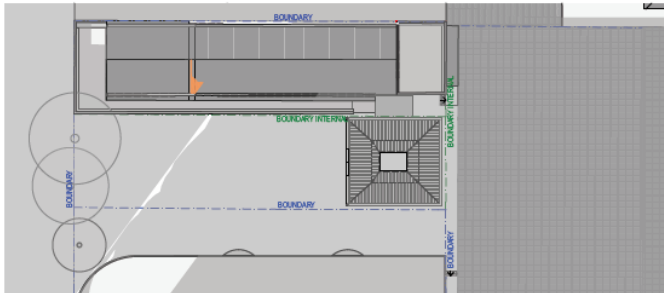
Shadow Diagrams prepared by Archer Office (Appendix 2) demonstrate the proposal results in very minor additional overshadowing within the site between 9am and 12pm on 21 June. The proposed roof structure on the Mill Hill Community Centre results in minor overshadowing of Norman Lee Place at 9am, however by 12pm shadows from the roof fall within the existing shadows. The new roof structure on the Boot Factory building results in minor overshadowing of the Boot Factory roof and the roof of the building at 14-26 Ebley Street. As shown in the shadow diagram extract (Figure 21) the proposal does not result in any adverse overshadowing of the site or adjoining sites.



1 21ST JUNE 9 AM
1:300



2 21ST JUNE 12 PM
1:300



3 21ST JUNE 3 PM
1:300

LEGEND





Existing facilities	
Existing shadows	
New shadows	
Existing shadows removed	

Figure 21: Extract of Shadow Diagrams (Source: Archer Office)

6.3.4. Privacy

The proposal maintains the existing separation distances between the building on the site and the adjoining sites. The nearest residential uses are located in the mixed use building at 17-25 Spring Street, immediately to the west of the site. The apartments at 17-25 Spring Street are located above the three storey podium and therefore are above the Boot Factory and Mill Hill Community Centre. In this regard, the proposal will not result in any adverse impacts on the privacy levels of nearby properties.

6.3.5. Views

The proposal does not result in any significant change to the existing building envelopes of the Mill Hill Community Centre or the Boot Factory building. The proposed new roof structure on the Boot Factory building will not result in any adverse view impacts on surrounding sites. The new roof proposed on the Boot Factory building will increase the existing building height by 500mm.

The existing buildings on the site are smaller scale than the immediately surrounding mixed use and commercial buildings which range up to 11 storeys. As such, existing views from these building will still be maintained through the site. The restoration of the Boot Factory building will allow for district views to be gained from the top floor.

Overall, given that consent is sought for minor alterations to the existing buildings, there will be no adverse impacts on views enjoyed from surrounding sites. Rather, the restoration and use of the Boot Factory building will allow for new district views to be gained from within the building.

6.3.6. Public Domain

Spring Street provides the main street address and entry point to the site. The street frontage contains three existing mature *Platanus x hybrida* forming a thoroughfare into the courtyard. The proposal will improve the connection between the streetscape and the Boot Factory courtyard through the continuation of feature brick paving to the kerb of the street. Further, the proposal involves the removal of the existing barriers between the site and the public domain, including the existing front fence.

Increased pedestrian amenity is also provided through the installation of timber benches, bicycle parking and landscaping adjacent to the street. An extract of the proposed feature plinth is provided at Figure 22 below, which will be visible from the Spring Street entrance and increase pedestrian activity into and through the site.

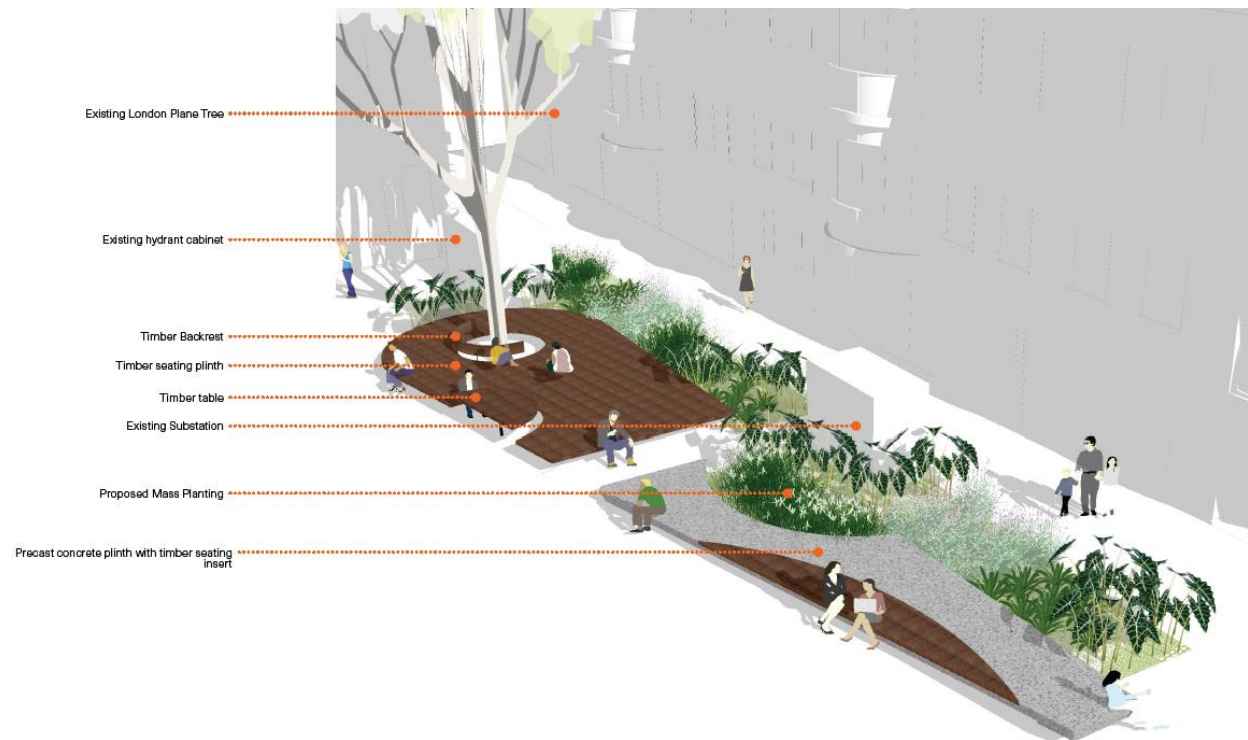


Figure 22: Extract of Landscape Plan - Feature Plinth (Source: Aspect Studios)

6.3.7. Heritage

The Boot Factory is listed as a heritage item (No. I236) in Schedule 5 Part 1 of the WLEP 2012. A Heritage Impact Statement has been prepared by Matt Devine & Co and is provided at Appendix 4.

The proposed works include landscaping works in Norman Lee Place, new plant-covered screen along western façade of Mill Hill Community Centre and upgrade of facilities in the Mill Hill Community Centre including the construction of a pedestrian bridge connection to the Boot Factory. Introduction of new openings in the centre of each façade at ground level. Installation of brass wire mesh over all windows on Boot Factory except the front facade to allow windows to be operable and new copper drencher sprinklers on all facades. Demolition of existing internal structure and introduce new structure with major elements in a similar location to the existing (for first and second floors). Demolition of existing roof structure and construct new roof with similar external form, plus a new central skylight.

The impact of the proposal is assessed in the Heritage Impact Statement against the essential characteristics of the Boot Factory. The Heritage Impact Statement concludes:

Even though the proposed development will have minimal impact upon the heritage significance of the property, it is considered that this is acceptable, considering the high-quality and flexible future facilities that will be provided.

Furthermore, there are a number of recommendations to ameliorate any potential heritage impact and to foster an increased understanding of the heritage significance of the site.

The proposed recommendation includes archival recording. Refer to the Heritage Impact Statement at Appendix 4 for further detail.

6.3.8. Materials and Colour

An extract of the proposed materials and finishes is provided in Figure 23 below and in the Architectural Plans at Appendix 2.



Figure 23: Materials and finishes (Source: Archer Office)

6.3.9. Building and Construction

Compliance with the BCA will be demonstrated with the Construction Certificate documentation. A BCA Report has been prepared by BCA Logic and is provided at Appendix 6.

6.4. Natural Environment

6.4.1. Tree Removal

The proposal includes the removal of five trees (T4, T6, T7, T8 and T9) within Normal Lee Place, as discussed in the Arboricultural Impact Assessment at Appendix 15.

These include Tree No.s T4 (London Plane) and T6, T7, T8 & T9 (Crepe Myrtle). The Arboricultural Impact Assessment identifies that none of these trees are considered significant or worthy of special measures to ensure their preservation. The removal of these trees to accommodate the proposed development is warranted in this instance. It should be noted that T9 is exempt from Council's Tree Management Controls.

Four trees are proposed to be retained and will be protected in accordance with the tree protection measures identified in the accompanying Arboricultural Impact Assessment. The proposed Landscape Plan (Appendix 17) includes substantial landscaping throughout the site, including additional trees, shrubs and climbing plants, to offset the removal of the trees.

6.4.2. Landscape

A Landscape Plan has been prepared by Aspect Studios and is provided at Appendix 17.

The proposed landscape design for the Boot Factory courtyard draws upon the heritage, environment and cultural context of the area while complementing the community uses of the proposed buildings. The public domain areas have been designed with regards to the following design principles:

Provide public open space that is flexible in use, catering for a variety of users groups of varying ages;

Respond to existing site conditions including the existing trees and 'courtyard' typology.

Consider the public space beyond the site, extending into Spring Street

Improve biodiversity and environmental protection through appropriate plant selection, hard materials and water sensitive urban design initiatives;

Ensure that the public domain is designed with crime prevention initiatives including good surveillance, sight lines and appropriate lighting levels;

Provide public domain that has been designed for longevity through use of robust materials;

Respond to the proposed built form including entry points and building use.

The proposed landscape works include feature timber seating plinth/stage, timber table and bench, concrete seating plinth with timber seating inset, upgrade to existing ramp at front of Mill Hill Community Centre, relocate existing water fountain and heritage plaques.

The proposal includes understorey mass planting, climbing planting and feature planting in trough planters underneath window sills of Mill Hill Community Centre. 6 bicycle parking spaces are proposed within the site adjoining the Spring Street frontage.

An extract of the proposed landscape plan is provided in Figure 24 below.

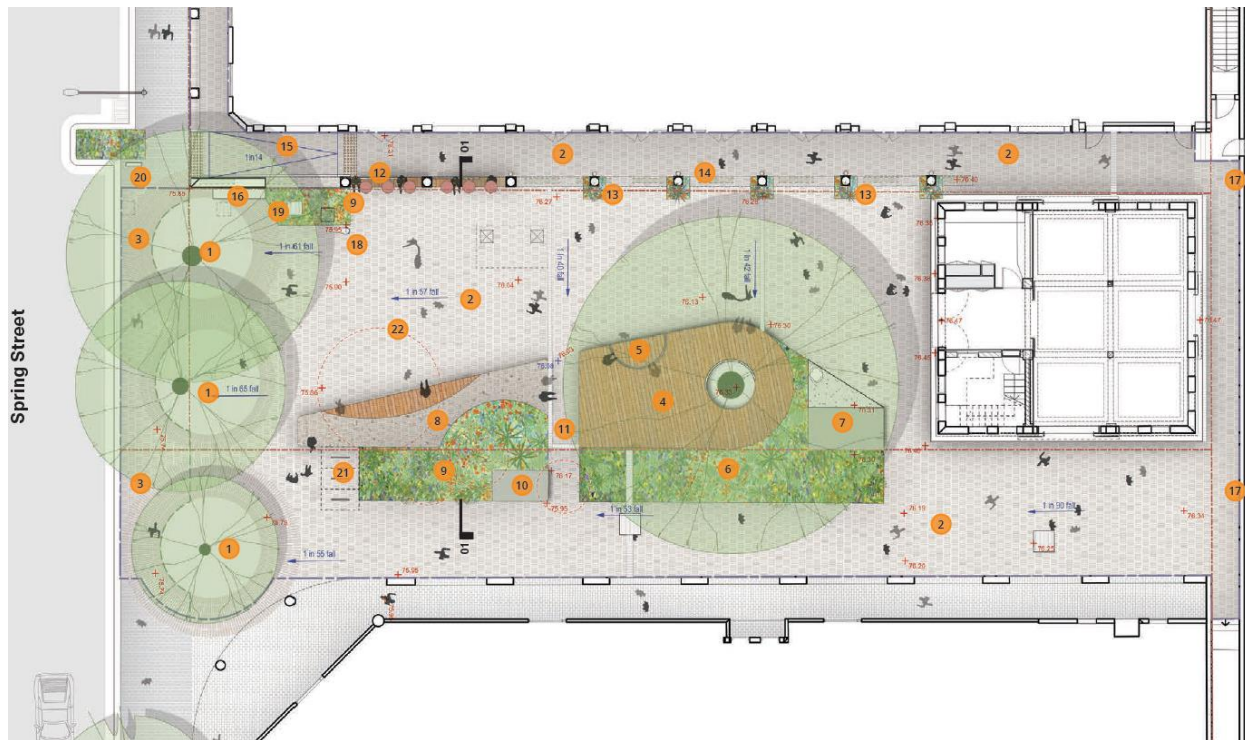


Figure 24: Extract of Landscape Plan (Source: Aspect Studios)

6.4.3. Water Management

The proposed works include stormwater improvements as shown on the Stormwater Concept Plans prepared by Partridge and provided at Appendix 9. Bypass runoff will be directed towards the tree pits to allow for passive irrigation in Norman Lee Place. A new stormwater kerb inlet is proposed to be installed along Spring Street.

Refer to the Stormwater Concept Plans at Appendix 9 for further detail.

6.4.4. Soil Management

Refer to **Section 4.4.1** for the SEPP 55 assessment with regard to potential soil contamination.

The Erosion and Sedimentation Control Plan provided at Appendix 9 provides measures to ensure the development provides appropriate soil management and sedimentation control.

6.4.5. Energy

A Section J Report has been prepared by BCA Energy and is provided at Appendix 16. The report concludes that:

The design documentation as referred to in this report has been assessed against the applicable provisions of Section J of the National Construction Code (NCC) and it is considered that such documentation complies or is capable of complying (as outlined above) with that Code.

6.4.6. Air and Microclimate

Some dust is anticipated during the construction period, given demolition is involved. This impact can be managed through measures such as wetting down work areas/stockpiles, stabilising exposed areas, preventing material tracking out onto public roadways, covering loads on all departing trucks and working to weather conditions. The proposal is otherwise not expected to give rise to any long term or adverse impacts on local or regional air quality.

A final CMP will be provided by the builder, once appointed, prior to the issue of the Construction Certificate.

6.4.7. Noise and Vibration

An Acoustic Report has been prepared by ADP and is provided at Appendix 13. The report provides acoustic design advice and addresses:

- the noise emission criteria at the nearby sensitive receivers
- high level recommendations for noise emission from the site
- the recommended internal noise levels of the development

The times of operation proposed are as follows:

- Weekdays and weekends: 7am - 12pm.
- No amplified music between the hours of 10pm - 7am

The Acoustic Report identified the following nearest sensitive noise receivers as:

- Residences located as follows:
 - Spring Street Apartments (17-25 Spring Street), located directly adjacent to the west
 - Residential townhouses across Denison St, approximately 120m away to the west
 - Residential tower across Newland Street (Eastgate Gardens Harbour Court at 55-69 Spring Street), approximately 140m away to the east
 - Residential townhouses across Ebley Street, to the southwest, approximately 100m away to the southeast
- Commercial premises located at close proximity to the south, east, north and west
- Clementson Park, located approximately 70m to the south
- Mill Hill Early Education Centre, located approximately 70m to the south
- The development itself that includes:
 - Services requiring noise attenuation and vibration isolation to ensure low indoor noise levels in occupied areas and compliance with noise emission regulations
 - An expected standard of amenity compliant with all applicable codes, regulatory requirements, client brief and/or other standards

The Acoustic Report concludes:

Mechanical plant selected on the site will need to be designed to comply with the noise emission and noise intrusion criteria in the detailed design stage of the project. Controlling noise from plant and equipment would include a combination of enclosed plant rooms, silencers, lined ductwork, acoustic barriers, acoustic louvers and the selection of quiet plant where required.

Current standards associated with the development have been reviewed and assessed in accordance with existing site constraints. Preliminary construction standards have been reviewed to ensure that Waverly Council's and other guidelines are satisfied.

ADP Consulting believes that there are no site conditions that would preclude this development from complying with the criteria defined in this report.

A Plan of Management has been prepared by Waverley Council and is provided at Appendix 17. The Plan of Management provides details of the proposed site management and management of the venue.

6.5. Movement and Access

A Transport Assessment has been prepared by JMT Consulting and is provided at Appendix 14.

6.5.1. Transport

The site is located in a highly accessible location being a 5 minute walk from Bondi Junction Interchange which will encourage people to use public transport to access the site. There is a well developed network of walking and cycling routes in the vicinity of the site. Footpaths are generally provided on both sides of the street, with pedestrian crossing opportunities at signalised intersections. The site is also in proximity to a number of cycling routes within the Bondi Junction centre.

6.5.2. Parking

Due to the existing nature of the site, no on-site parking will be provided as part of the redevelopment of the Boot Factory. This is considered appropriate based on the following:

- The site is located within the Bondi Junction centre in close proximity to high frequency public transport services;
- The site is likely to attract people from the local area given the intended uses within the building, reducing reliance on private vehicle as a means of accessing the site;
- There are significant numbers of off-street parking available in multi-level car parks within close walking distance of the Boot Factory, as detailed in Section 2.3 of the Transport Assessment. The travel demand analysis indicates up to 42 cars may be parked at any one time that are associated with the site. This represents approximately 1% of the more than 4,000 publicly available car parking spaces within the Bondi Junction centre.

The ten existing car parking spaces within the Officeworks car park will be retained for Council staff working in either the Mill Hill Community Centre or the redeveloped Boot Factory.

6.5.3. Traffic

The travel demand analysis indicates the site may generate in the order of 40 additional vehicles at peak times. This is considered relatively minor in the context of existing traffic movements within Bondi Junction. Further, the peak periods of activity for the Boot Factory are likely to be during the day and on weekends, not coinciding with the peak traffic periods on weekday mornings and afternoons.

JMT Consulting concludes that the traffic impacts associated with the proposal are forecast to be minor.

6.5.4. Deliveries

All deliveries will be made via Spring Street, materials and equipment will then be transported into the building on trolleys. Deliveries will be timed for early morning where possible and staggered to prevent vehicle congestion. Trollies will be provided to event organisers and hirers to transport equipment required for their activities to the relevant areas of the building.

6.5.5. Waste

A Waste Management Plan has been prepared by Elephants Foot and is provided at Appendix 12. The Waste Management Plan identifies the different waste streams likely to be generated during the operational phase of the development. Associated information includes how the waste will be handled and disposed of, details of bin sizes/quantities and waste rooms, descriptions of the proposed waste management equipment used and information on waste collection points and frequencies.

Bags of garbage and/or recycling are then deposited directly into the corresponding bins in the ground level waste room by the cleaners. On collection days, the building caretaker will be responsible for transferring all full bins from the waste room to the kerbside of Spring Street and ensuring they are neatly arranged and evenly spaced for ease of servicing. The contractor's waste collection vehicle will then pull-up at the kerbside and service the bins. Once servicing is complete, the building caretaker will be responsible for returning bins to the waste room to resume operational use.

Refer to the Waste Management Plan at Appendix 12 for further detail.

6.5.6. Accessibility

The proposed development includes the connection of the Boot Factory building and the Mill Hill Community Centre to enable shared access of the lift and facilities in the Mill Hill Community Centre.

An Access Assessment Report has been prepared by BCA Logic and is provided at Appendix 7.

6.6. Site Suitability

The suitability of the land to accommodate a building of this type and use was established by the analysis completed by Council through the preparation of LEP, which permits community facilities in the B4 Mixed Use Zone.

The subject site is not affected by any policy that restricts development because of the likelihood of land slip, bush fire, tidal inundation, subsidence, acid sulphate soils or any other risk from the natural environment.

An assessment of the proposed development under SEPP 55 has been carried out and is provided at Section 5.5.2. The assessment provides that the site can be made suitable for the proposed redevelopment.

The site forms part of the existing and well-established Bondi Junction centre with access to the relevant utility infrastructure.

6.7. Social and Economic Effects

6.7.1. Crime and Safety

Crime Prevention through Environmental Design (CPTED) is a recognised model which provides that if development is appropriately designed it can reduce the likelihood of crimes being committed. By introducing CPTED measures within the design of the development, it is anticipated that this will assist in minimising the incidence of crime and contribute to perceptions of increased public safety. The proposal has been designed to take into consideration these principles as follows:

Surveillance: Crime targets can be reduced by effective surveillance, both natural and technical.

Natural surveillance is achieved when the normal users of space can see and be seen by others. The location of the proposed development within the Bondi Junction centre allows for direct sightlines into and

within the site, through Norman Lee Place. The use of the Mill Hill Community Centre and Boot Factory building will further increase passive surveillance of Norman Lee Place and Spring Street.

Access Control: Physical and symbolic barriers can be used to attract, channel or restrict the movement of people to minimise the opportunities available for crime and increase the effort required to commit crime.

Access to both the Mill Hill Community Centre and the Boot Factory will be through Norman Lee Place and via the entry door/lobby of the building. Council's security provider ECS International provide monitoring of a back to base alarm systems. They also provide security guarding for events, functions, RSA bar services and evening patrols. The Facilities Maintenance Officer for the building is on call to respond to any urgent maintenance building related matters out of hours.

Territorial Reinforcement: Well-used places reduce opportunities for crime and increase risk to criminals.

The proposed development includes improvements to Norman Lee Place including planting, new seating and pathways. This will improve the connection of Norman Lee Place to Spring Street emphasising the right for members of the community to access the spaces on the site and increasing pedestrian activity.

Space Management: Appropriately utilised and well cared for spaces reduce the risk of crime and antisocial behaviour.

The relevant Council staff will be responsible for the ongoing maintenance of the park and pavilion, including site cleanliness, the rapid repair of vandalism/ graffiti and replacement of broken light fixtures. They will also be responsible for the removal and/or refurbishment of decayed physical elements.

6.7.2. Social, Economic and Employment

The proposed development will have a positive social impact as it will result in additional community facilities within the Bondi Junction Centre. The proposal will deliver flexible community spaces at various scales that can be used individually or together for workshops, functions and community events. The proposal also involves the adaptive reuse of the Boot Factory building which has remained vacant since 2009 when it was deemed structurally unsafe. The proposal includes improvements to Norman Lee Place creating an inviting space for pedestrians within the Bondi Junction centre.

The proposed development will also have a positive employment impact through the generation of jobs within the Bondi Junction centre during the construction phase and ongoing operation of the community facility.

6.8. Public Interest

Pursuant to case law of *Ex Gratia P/L v Dungog Council* (NSWLEC 148), the question that needs to be answered is "Whether the public advantages of the proposed development outweigh the public disadvantages of the proposed development".

There are no unreasonable impacts that will result from the proposed development, therefore, the benefits of providing an increased community facility on the site, adaptive reuse of the heritage item in a highly accessible and well serviced area outweigh any disadvantage and as such the proposed development will have an overall public benefit.

7. CONCLUSION

This DA seeks approval for the following works at 17-33 Spring Street and 14-26 Ebley Street, Bondi Junction:

- Adaptive reuse of the Boot Factory building including internal and external alterations to facilitate the use of the building as a flexible community facility
- Alterations and additions to the Mill Hill Community Centre, including the construction of a pedestrian walkway connections the Mill Hill Community Centre and the Boot Factory on Levels 1 and 2
- One building identification sign on the Boot Factory building
- Landscaping and associated civil works

This SEE has undertaken an environmental assessment of the proposal and has concluded that the proposal provides a built form which is consistent and compatible with the character of the site and the surrounding locality, to provide an improved community facility on the site.

In summary, the proposal is considered to:

- be an appropriate response to the context, setting, planning instruments and development guidelines and other considerations outlined in Section 4.15(1) of the Environmental Planning and Assessment Act, 1979
- provide a built form consistent with and appropriate to the character of the site and wider Bondi Junction centre
- provide improved facilities that cater for the local community
- increase employment opportunities during the construction period and ongoing operations of the facility
- retain and enhance the existing Boot Factory heritage item for a new use
- have no adverse impacts on the environment, traffic, parking, drainage or other external features or services.

The benefits provided by the proposed development outweigh any potential impacts and is it is therefore considered to be in the public interest. The proposal will deliver a suitable and appropriate development and is worthy of approval.